

PROJECT CONTACTS

OWNER:

NEBRASKA ADMINISTRATIVE SERVICES
OWNER'S REPRESENTATIVE: JOHN HEACOCK

ARCHITECT:

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SES
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OMAHA, NE 68134
(402) 991-5520

SUBMITTALS

REVISION	ISSUED	DATE
-	25% SUBMITTAL	08/20/2013
-	50% SUBMITTAL	09/27/2013
-	95% SUBMITTAL	10/08/2013
-	100% SUBMITTAL	01/17/2014

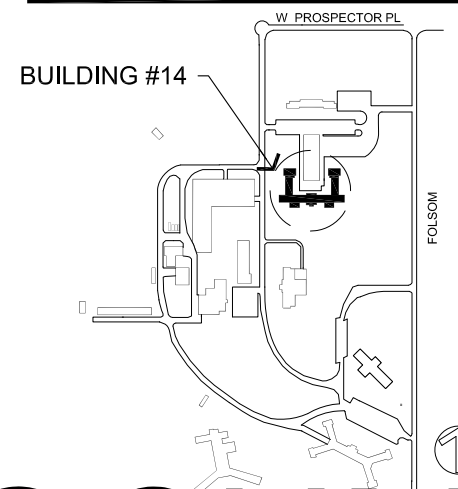
PROJECT SUMMARY

-- THIS PROJECT IS TO UPGRADE FINISHES IN THREE SHOWERS AND UPGRADE A SINGLE SHOWER TO MODERN ADA STANDARDS.

LOCATION MAP



LOCATION MAP



DRAWING SHEET INDEX

ARCHITECTURAL

- G1.0 GENERAL NOTES & DIAGRAMS
- G1.1 FLOOR PLAN KEY & GENERAL PROJECT NOTES
- G1.2 FINISH SCHEDULE
- D1.0 PARTIAL DEMO FLOOR PLANS & NOTES
- D1.1 PARTIAL DEMO FLOOR PLANS & NOTES
- A1.1 SHOWER ROOM 114
- A1.2 SHOWER ROOM 115
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MEP

- M0.1 MECHANICAL DEMOLITION PLANS
- M1.1 HVAC PLANS
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- M3.1 SCHEDULES
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- E0.1 ELECTRICAL DEMO PLANS
- E1.1 NEW POWER FLOOR PLANS

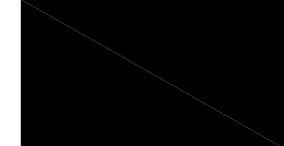
CONSTRUCTION DOCUMENTS

ADA Shower Room & Standard Shower Room Remodel Bldg. #14 of

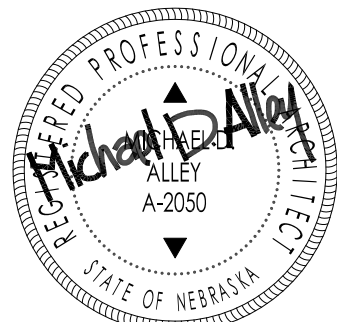
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Lincoln, Nebraska 68508

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ARCHITECTURE



COORDINATING PROFESSIONAL

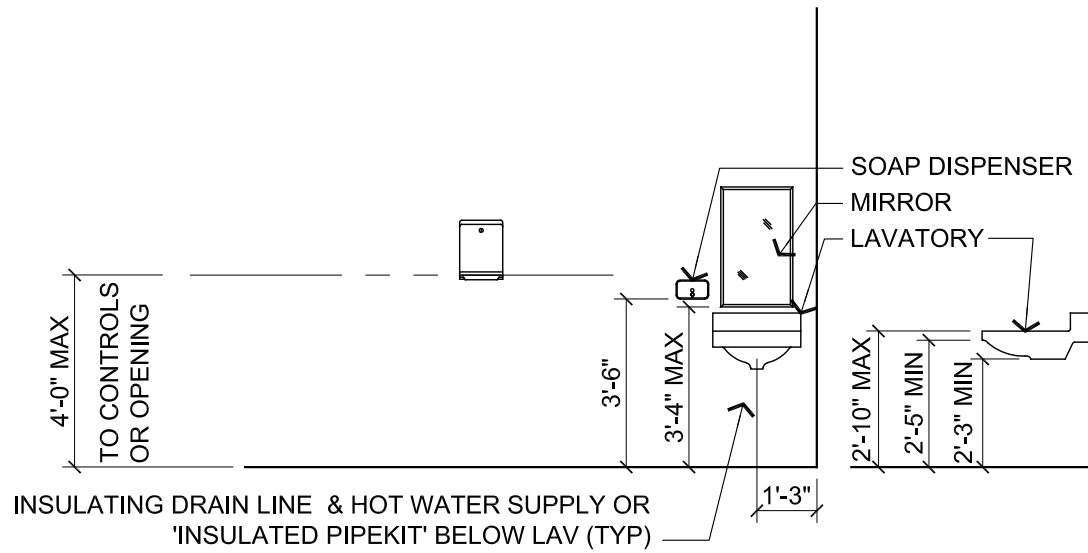


I, Michael D. Alley, am the Coordinating Professional on the
ADA Restroom & Standard Restroom Remodel Bldg #14 project.

17 January

2014

*ACCESSORY DRAWINGS BELOW SHOW TYPICAL MOUNTING HEIGHTS

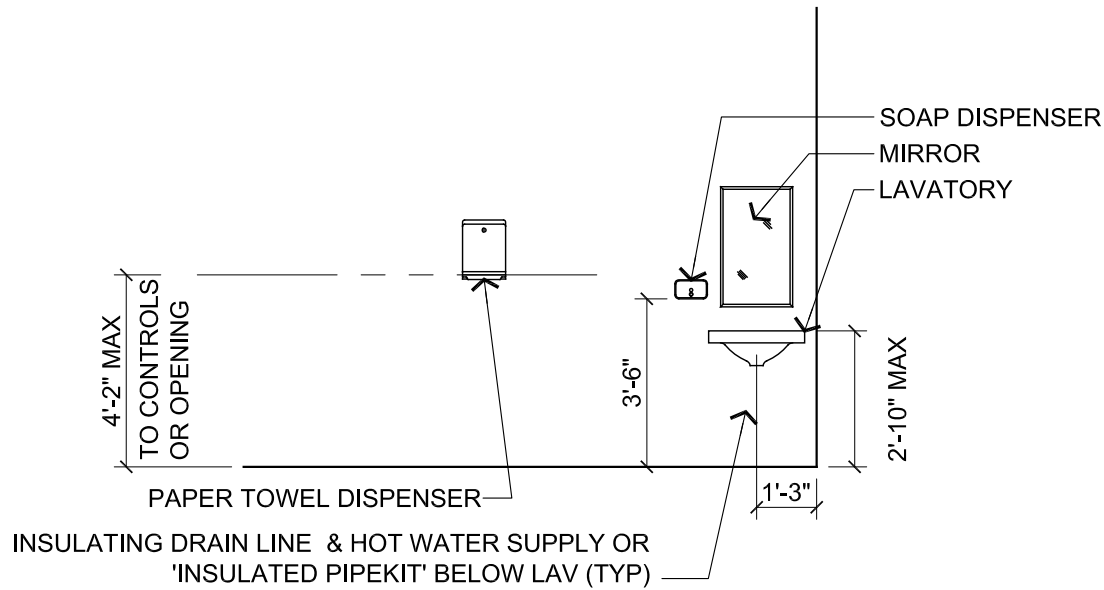


1

STANDARD FIXTURES & ACCESSORIES

G1.0

SCALE: 1/4" = 1'-0"

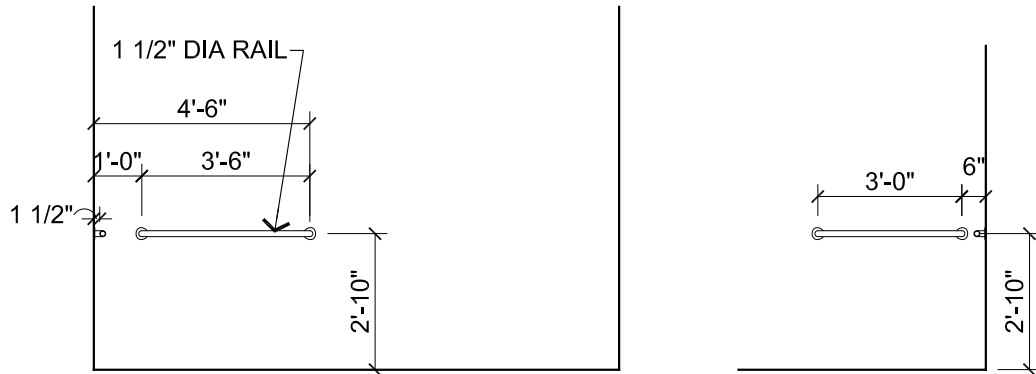


2

STANDARD ADAPTABLE & ACCESSIBLE OUTLETS, SWITCHES & CONTROLS

G1.0

SCALE: 1/4" = 1'-0"



3

ADAPTABLE & ACCESSIBLE FIXTURES & ACCESSORIES

G1.0

SCALE: 1/4" = 1'-0"

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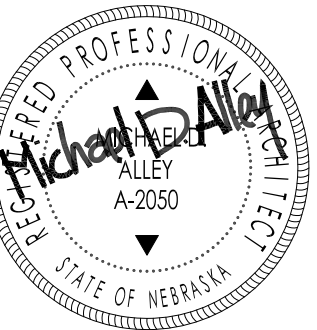
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DATE

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G1.0

WALL SYMBOLS	
SYMBOL	DESCRIPTION
=====	EXISTING WALLS
== == == ==	DEMOLITION
=====	NEW CONSTRUCTION

AREA OF WORK 2

(ALTERNATE #1)
FOR THE SCOPE OF ALTERNATE #1, ROOM 177 WILL HAVE ALL ASSOCIATED COSTS BROKEN OUT SEPARATELY.

(ALTERNATE #2)
FOR THE SCOPE OF ALTERNATE #2, ROOM 178 WILL HAVE ALL ASSOCIATED COSTS BROKEN OUT SEPARATELY.

GENERAL NEW CONSTRUCTION NOTES:

1. VERIFY ALL CONDITIONS PRIOR TO THE START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

2. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

3. ITEMS SHOWN IN FULL TONE WITH A SOLID LINE ARE NEW CONSTRUCTION. ITEMS SHOWN IN HALFTONE ARE EXISTING AND TO REMAIN.

4. CONTRACTOR SHALL REPAIR AND PATCH ANY DAMAGED AREAS THAT OCCUR DURING CONSTRUCTION TO ORIGINAL OR BETTER CONDITION.

5. PATCH FLOOR AND WALLS TO MATCH ADJACENT SURFACES WHERE PLUMBING, ELECTRICAL, AND MECHANICAL ITEMS ARE REMOVED.

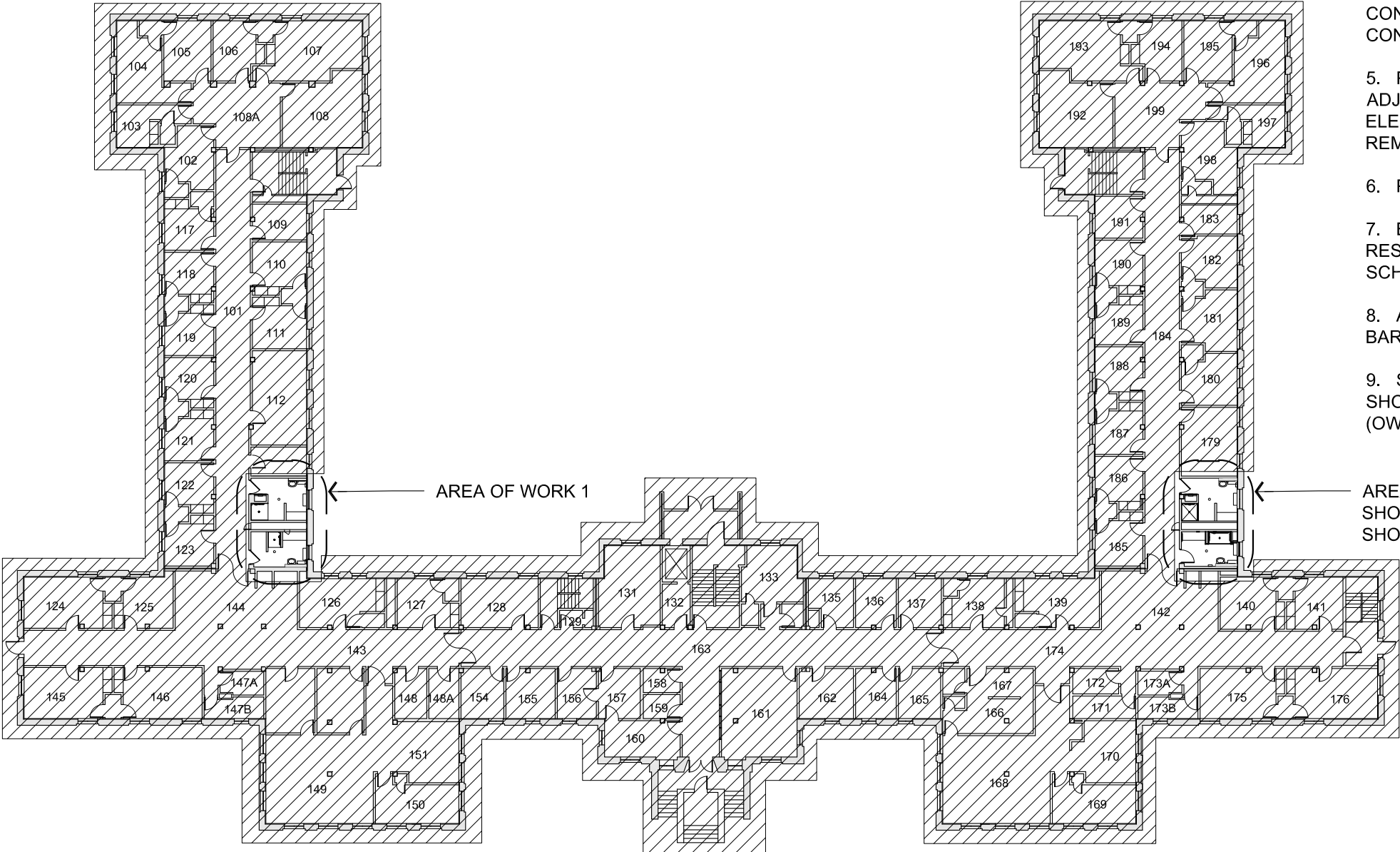
6. PAINT ALL WALLS IN RR WITH EPOXY PAINT.

7. ENTIRE FLOOR TO BE VCT WITH SLIP RESISTANT FINISH, AS SHOWN ON FINISH SCHEDULE ON SHEET G1.2

8. ALL GRAB BARS ARE TO BE SECURITY GRAB BARS & SHALL HAVE CLOSURE PLATES.

9. SHOWER CURTAINS ARE TO BE WEIGHTED SHOWER CURTAINS WITH BREAKAWAY CLIPS. (OWNER PROVIDED)

AREA OF WORK 2
SHOWER ROOM #177 - ALTERNATE #1
SHOWER ROOM #178 - ALTERNATE #2



1

G1.1

FLOOR PLAN KEY AND GENERAL PROJECT NOTES

SCALE: 1/16" = 1'-0"

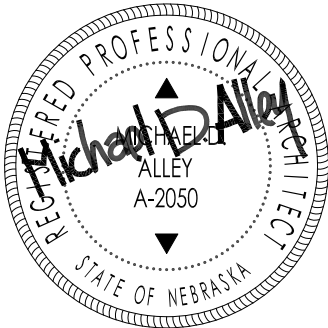
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G1.1

WALL SYMBOLS	
SYMBOL	DESCRIPTION
=====	EXISTING WALLS
== == == ==	DEMOLITION
=====	NEW CONSTRUCTION

DEMO KEYED NOTES

- D1

REMOVE PORTION OF EXISTING INTERIOR WALL PARTITION.
- D2

REMOVE EXISTING DOOR AND FRAME. COORDINATE W/ NEW CONSTRUCTION.
- D3

PANEL TO BE RELOCATED; COORD. W/ NEW
- D4

REMOVE EXISTING LAVATORY/SINK IN ITS ENTIRETY.
- D5

REMOVE EXISTING BENCH.
- D6

CAREFULLY REMOVE & SALVAGE ALL EXIST. ACCESSORIES INCLUDING BUT NOT LIMITED TO PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISPENSERS, TOWEL HOOKS, ETC. TURN OVER TO OWNER.
- D7

REMOVE TILE FLOOR TO SUBSTRATE THROUGHOUT
- D8

PROTECT EXISTING SS COUNTERTOP FROM DAMAGE
- D9

PROTECT EXISTING RADIATOR FROM DAMAGE
- D10

REMOVE PLASTER TO SUBSTRATE @ ALL WALLS FOR NEW INSTALLATION; COORD. W/NEW
- D11

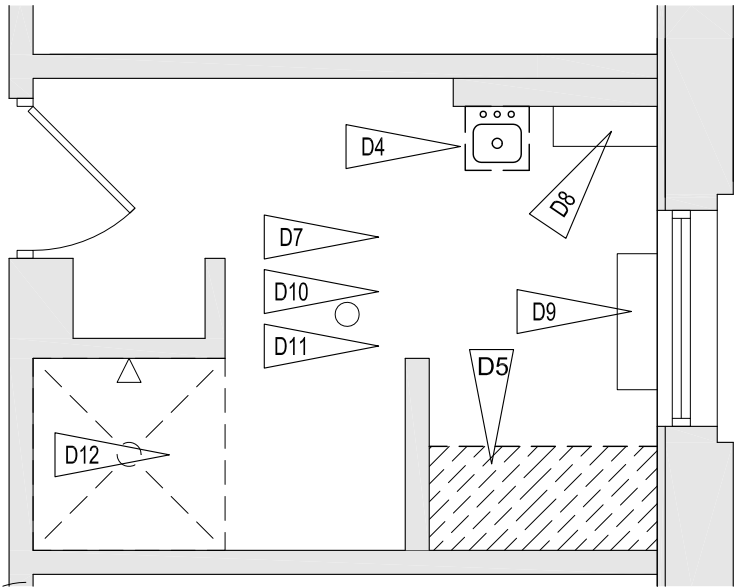
REMOVE CEILING TO STRUCTURE; PROTECT ALL CEILING FIXTURES AND SPRINKLER SYSTEM FROM DAMAGE.
- D12

REMOVE SHOWER COMPLETE.

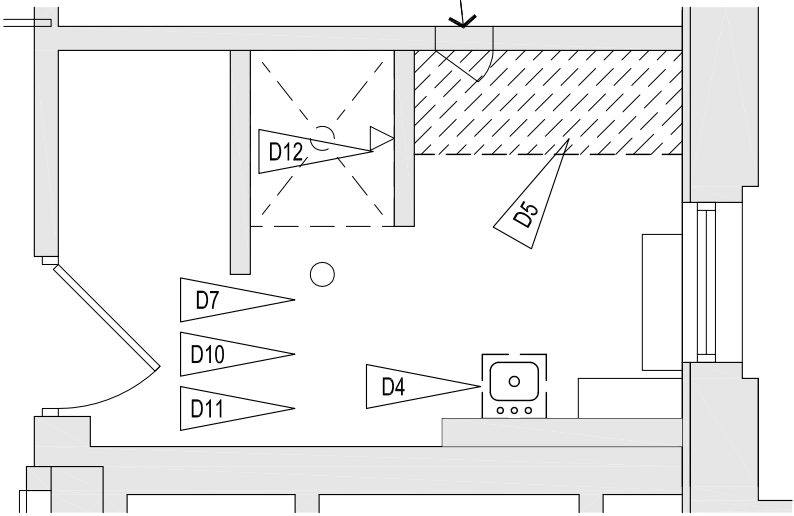
GENERAL DEMOLITION NOTES:

THESE GENERAL NOTES APPLY TO ALL LEVELS AND AT ALL SIMILAR CONDITIONS:

1. THE INTENT OF THESE DEMOLITION DRAWINGS IS TO DEFINE A GENERAL SCOPE OF WORK. THESE DRAWINGS MAY NOT IDENTIFY EVERY ITEM TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL ITEMS WHICH MUST BE REMOVED TO FACILITATE NEW CONSTRUCTION.
2. ITEMS DRAWN BOLD AND DASHED TO BE REMOVED.
3. LIGHT FIXTURES ARE TO BE SALVAGED IN GOOD CONDITION (AS DETERMINED BY THE OWNER) AND GIVEN TO THE OWNER. IF THE OWNER REFUSES ANY LIGHT FIXTURES, IT IS THE CONTRACTORS RESPONSIBILITY TO DISPOSE OF THEM.



EXISTING ACCESS PANEL TO BE REPLACED



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1

DEMO FLOOR PLAN - "ROOM 114"

D1.0

SCALE: 1/4" = 1'-0"

2

DEMO FLOOR PLAN - "ROOM 115"

D1.0

SCALE: 1/4" = 1'-0"

D1.0

WALL SYMBOLS	
SYMBOL	DESCRIPTION
=====	EXISTING WALLS
== == == ==	DEMOLITION
=====	NEW CONSTRUCTION

DEMO KEYED NOTES

- D1

REMOVE PORTION OF EXISTING INTERIOR WALL PARTITION.
- D2

REMOVE EXISTING DOOR AND FRAME. COORDINATE W/ NEW CONSTRUCTION.
- D3

PANEL TO BE RELOCATED; COORD. W/ NEW.
- D4

REMOVE EXISTING LAVATORY/SINK IN ITS ENTIRETY.
- D5

REMOVE EXISTING BENCH.
- D6

CAREFULLY REMOVE & SALVAGE ALL EXIST. ACCESSORIES INCLUDING BUT NOT LIMITED TO PAPER TOWEL DISPENSERS, MIRRORS, SOAP DISPENSERS, TOWEL HOOKS, ETC. TURN OVER TO OWNER.
- D7

REMOVE TILE FLOOR TO SUBSTRATE THROUGHOUT.
- D8

PROTECT EXISTING SS COUNTERTOP FROM DAMAGE.
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PROTECT EXISTING RADIATOR FROM DAMAGE.
- D10

REMOVE PLASTER TO SUBSTRATE @ ALL WALLS FOR NEW INSTALLATION; COORD. W/NEW.
- D11

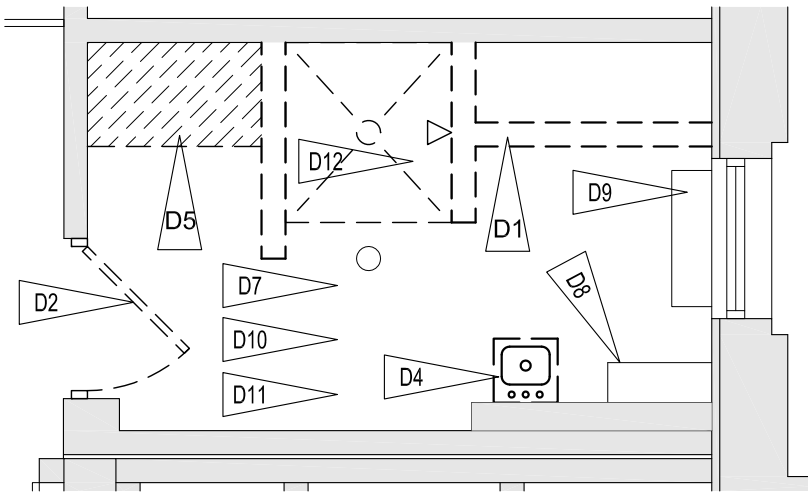
REMOVE CEILING TO STRUCTURE; PROTECT ALL CEILING FIXTURES AND SPRINKLER SYSTEM FROM DAMAGE.
- D12

REMOVE SHOWER COMPLETE.

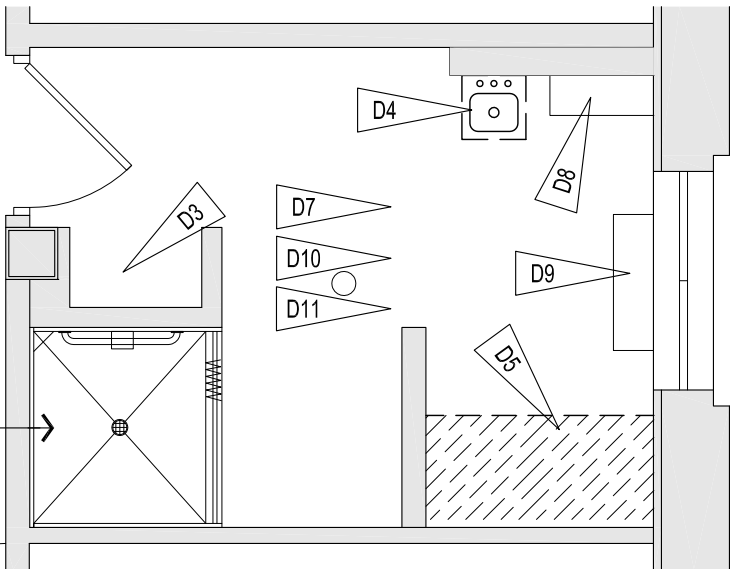
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PROTECT SHOWER & ACCESSORIES FROM DAMAGE



1

DEMO FLOOR PLAN - "ROOM 177"

D1.1

SCALE: 1/4" = 1'-0"

ALTERNATE #1



2

DEMO FLOOR PLAN - "ROOM 178"

D1.1

SCALE: 1/4" = 1'-0"

ALTERNATE #2



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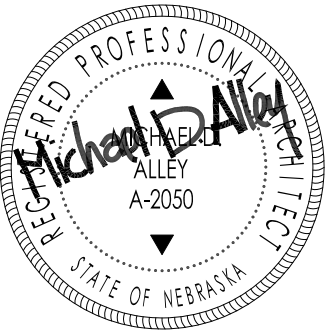
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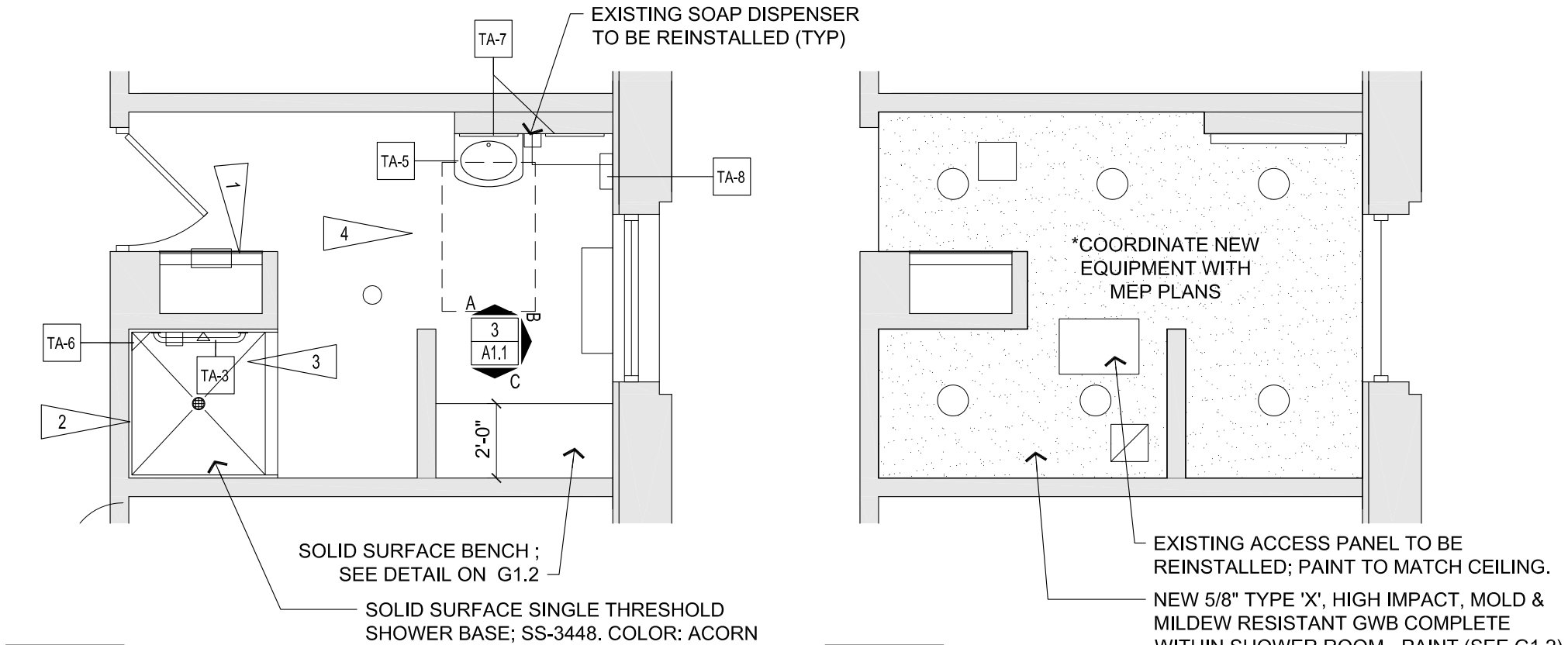
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D1.1



1 NEW FLOOR PLAN - "ROOM 114"
A1.1 SCALE: 1/4" = 1'-0"

2 NEW RCP - "ROOM 114"
A1.1 SCALE: 1/4" = 1'-0"

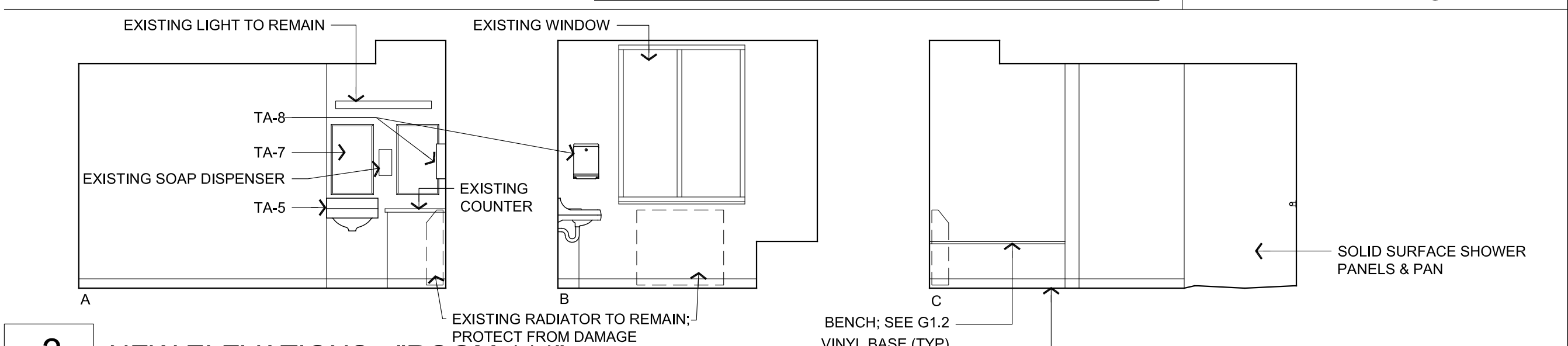
TOILET ACCESSORY SCHEDULE (BASIS OF DESIGN)	
TA-1	BRADLEY SA70 SERIES 42" GRAB BAR - SATIN FINISH
TA-2	BRADLEY SA70 SERIES 24" GRAB BAR - SATIN FINISH
TA-3	BRADLEY SA70 SERIES 36" BAR - SATIN FINISH
TA-4	NOT USED

TA-5	LAVATORY; REFER TO M3.1
TA-6	SOLID SURFACE CORNER SOAP DISH; SS-7211
TA-7	BRADLEY STAINLESS STEEL MIRROR MODEL 748 (TYPE 304)
TA-8	BRADLEY PAPER TOWEL DISPENSER B-359

COORD. W/OWNER & ARCHITECT IF RELOCATING IS NEEDED TO RECESS CABINET

FIELD VERIFY FINAL OPENINGS FOR ALL, SHOWER PANS, SHOWER WALLS, & ACCESSORIES PRIOR TO ORDERING

- GENERAL NOTES**
- NEW HIGH IMPACT, TYPE 'X', MOISTURE RESISTANT GWB WALL/INFILL (PNT-1) CONSTRUCTED OF 3 5/8" MTL STUDS FLOOR TO STRUCTURE ABOVE W/ (1) LAYER 5/8" GWB ON EXPOSED SIDE(S).
 - NEW 90 MIN. RATED HM DOOR & FRAME; FRAME TO BE GROUTED SOLID.
 - SHOWER CURTAINS SHALL BE WEIGHTED. COORD. W/OWNER
 - FLOOR IN FRONT OF THE ACCESSIBLE SHOWER TO HAVE NON-SHRINK GROUT SLOPING UP TO NEW ZERO ENTRY SHOWER INSERT SLOPED AT NO MORE THAN 1/4" PER FOOT WITH A SOLID SURFACE THRESHOLD BETWEEN SURFACES (NO MORE THAN 1/2").
- NEW CONSTRUCTION KEYED NOTES**
- 5/8" HIGH IMPACT, TYPE 'X', MOISTURE RESISTANT GWB (TYPICAL). REPLACE ALL DAMAGED PLASTER AS WELL.
 - SOLID SURFACE WALL SURFACE (SS-XX96-1), FLOOR TO CEILING - 3 SIDES. INSTALL PER MFR. RECOMMENDATIONS' VERIFY LENGTH AT EACH PRIOR TO ORDERING.
 - SOLID SURFACE SHOWER PAN (SS-3448 @ 114, SS-4236 @ 115, SBF-3464 @ 177). INSTALL PER MFR. RECOMMENDATIONS' VERIFY PAN DIMENSIONS AND OPENING LOCATION @ EACH PRIOR TO ORDERING.
 - VCT-1 TO BE INSTALLED ON ENTIRE FLOOR W/VINYL BASE @ ALL WALLS



3 NEW ELEVATIONS - "ROOM 114"
A1.1 SCALE: 1/4" = 1'-0"

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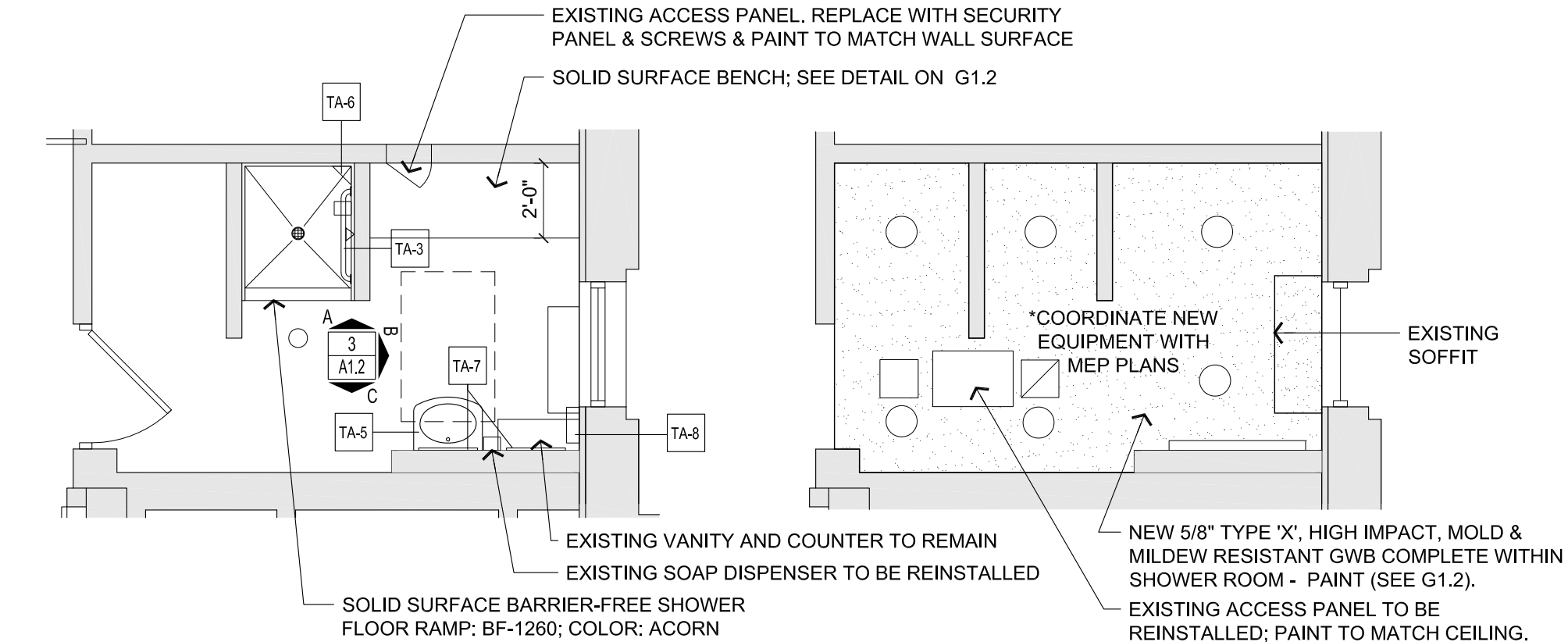
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A1.1



1

NEW FLOOR PLAN - "ROOM 115"

A1.2

SCALE: 1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE (BASIS OF DESIGN)	
TA-1	BRADLEY SA70 SERIES 42" GRAB BAR - SATIN FINISH
TA-2	BRADLEY SA70 SERIES 24" GRAB BAR - SATIN FINISH
TA-3	BRADLEY SA70 SERIES 36" BAR - SATIN FINISH
TA-4	NOT USED

2

NEW RCP - "ROOM 115"

A1.2

SCALE: 1/4" = 1'-0"

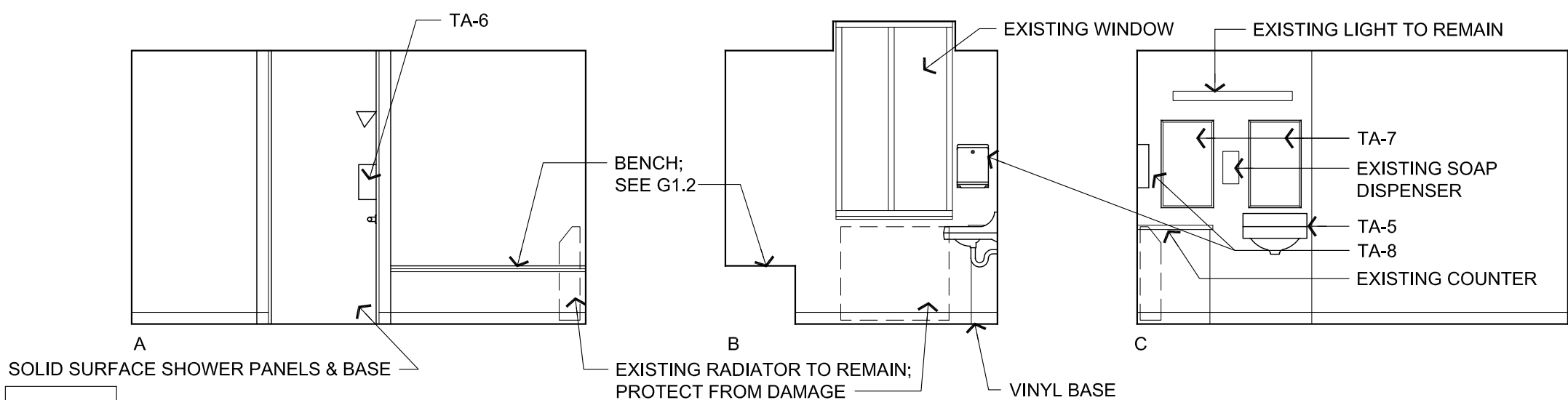
TA-5	LAVATORY; REFER TO M3.1
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COORD. W/OWNER & ARCHITECT IF RELOCATING IS NEEDED TO RECESS CABINET	
FIELD VERIFY FINAL OPENINGS FOR ALL, SHOWER PANS, SHOWER WALLS, & ACCESSORIES PRIOR TO ORDERING	

GENERAL NOTES

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NEW CONSTRUCTION KEYED NOTES

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3

NEW ELEVATIONS - "ROOM 115"

A1.2

SCALE: 1/4" = 1'-0"

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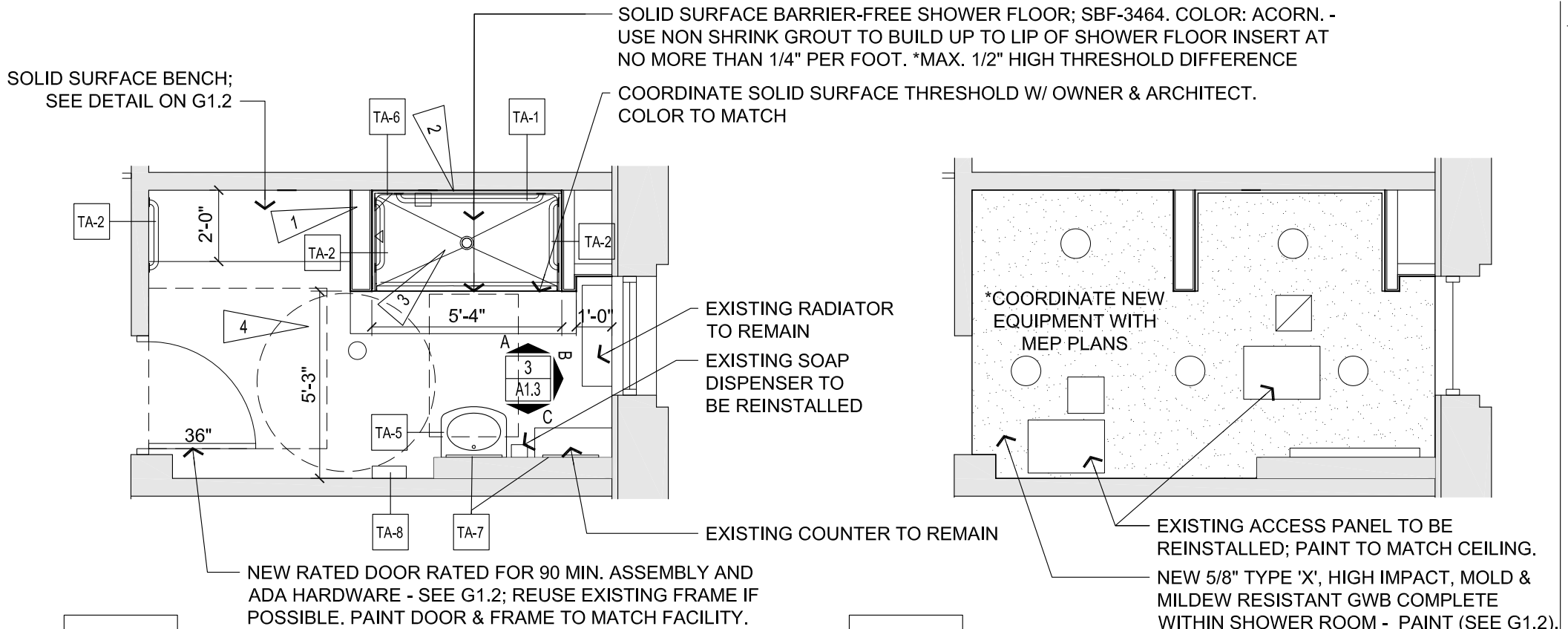
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A1.2



1 NEW FLOOR PLAN - "ROOM 177"
A1.3 SCALE: 1/4" = 1'-0" *ALTERNATE #1

2 NEW RCP - "ROOM 177"
A1.3 SCALE: 1/4" = 1'-0" *ALTERNATE #1

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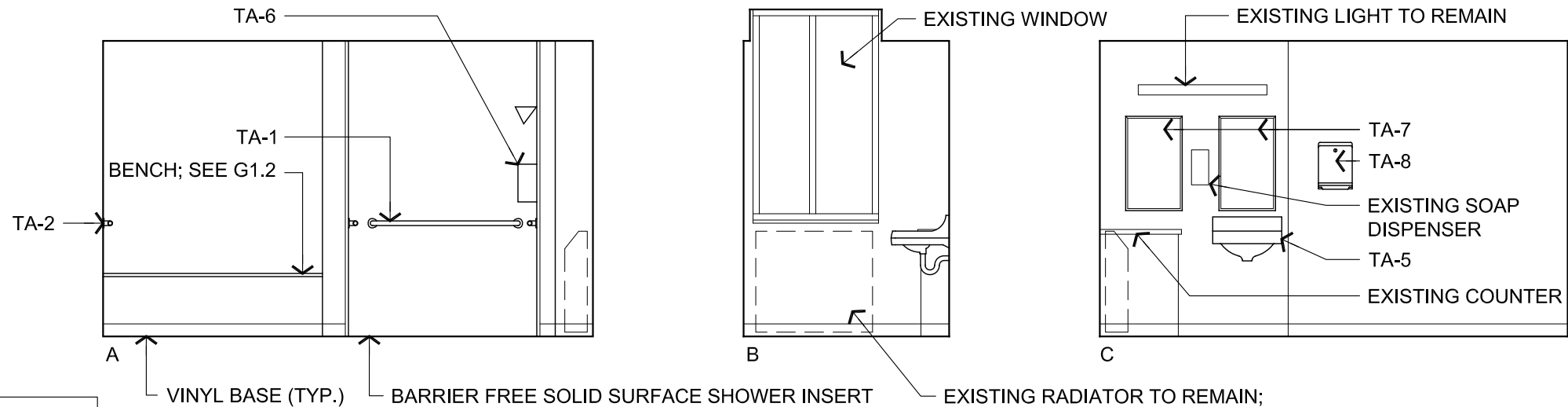
TA-5	LAVATORY; REFER TO M3.1
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- VCT-1 TO BE INSTALLED ON ENTIRE FLOOR W/VINYL BASE @ ALL WALLS



3 NEW ELEVATIONS - "ROOM 177"
A1.3 SCALE: 1/4" = 1'-0"

*ALTERNATE #1

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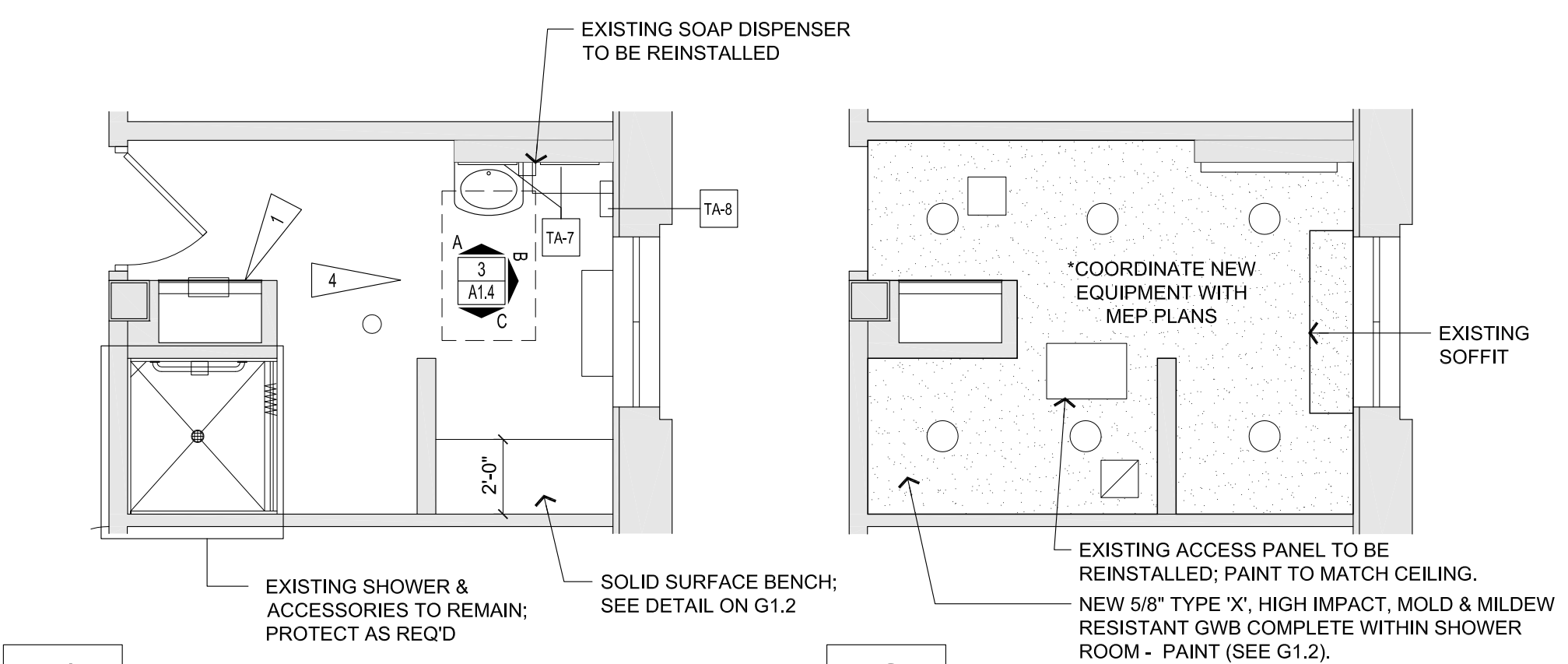
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A1.3



1 NEW FLOOR PLAN - "ROOM 178"
A1.4 SCALE: 1/4" = 1'-0" *ALTERNATE #2

2 NEW RCP - "ROOM 178"
A1.4 SCALE: 1/4" = 1'-0" *ALTERNATE #2

TOILET ACCESSORY SCHEDULE (BASIS OF DESIGN)

TA-1	BRADLEY SA70 SERIES 42" GRAB BAR - SATIN FINISH
TA-2	BRADLEY SA70 SERIES 24" GRAB BAR - SATIN FINISH
TA-3	BRADLEY SA70 SERIES 36" BAR - SATIN FINISH
TA-4	NOT USED

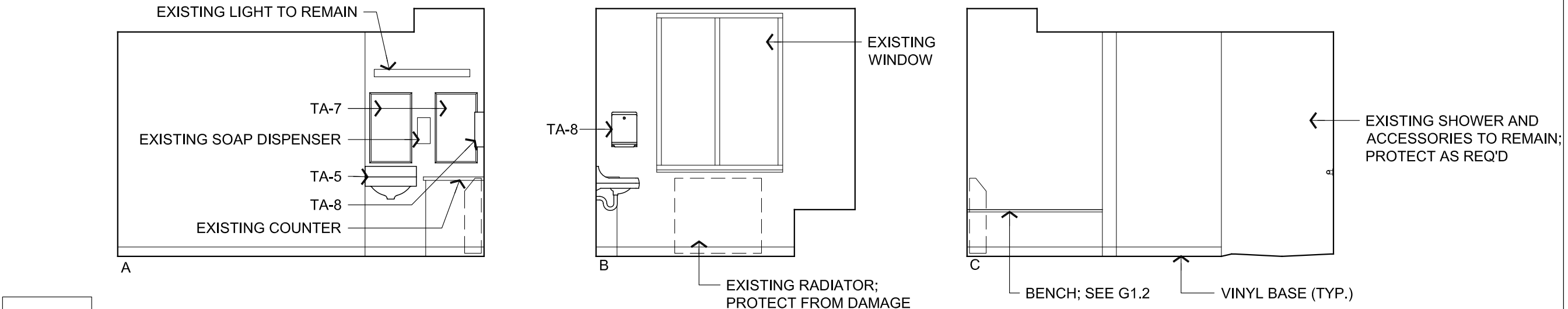
TA-5	LAVATORY; REFER TO M3.1
TA-6	SOLID SURFACE CORNER SOAP DISH; SS-7211
TA-7	BRADLEY STAINLESS STEEL MIRROR MODEL 748 (TYPE 304)
TA-8	BRADLEY PAPER TOWEL DISPENSER B-359
COORD. W/OWNER & ARCHITECT IF RELOCATING IS NEEDED TO RECESS CABINET	
FIELD VERIFY FINAL OPENINGS FOR ALL, SHOWER PANS, SHOWER WALLS, & ACCESSORIES PRIOR TO ORDERING	

GENERAL NOTES

- 1 NEW HIGH IMPACT, TYPE 'X', MOISTURE RESISTANT GWB WALL/INFILL (PNT-1) CONSTRUCTED OF 3 5/8" MTL STUDS FLOOR TO STRUCTURE ABOVE W/ (1) LAYER 5/8" GWB ON EXPOSED SIDE(S).
- 2 NEW 90 MIN. RATED HM DOOR & FRAME; FRAME TO BE GROUTED SOLID.
- 3 SHOWER CURTAINS SHALL BE WEIGHTED. COORD. W/OWNER
- 4 FLOOR IN FRONT OF THE ACCESSIBLE SHOWER TO HAVE NON-SHRINK GROUT SLOPING UP TO NEW ZERO ENTRY SHOWER INSERT SLOPED AT NO MORE THAN 1/4" PER FOOT WITH A SOLID SURFACE THRESHOLD BETWEEN SURFACES (NO MORE THAN 1/2").

NEW CONSTRUCTION KEYED NOTES

- 1 5/8" HIGH IMPACT, TYPE 'X', MOISTURE RESISTANT GWB (TYPICAL). REPLACE ALL DAMAGED PLASTER AS WELL.
- 2 SOLID SURFACE WALL SURFACE (SS-XX96-1), FLOOR TO CEILING - 3 SIDES. INSTALL PER MFR. RECOMMENDATIONS' VERIFY LENGTH AT EACH PRIOR TO ORDERING.
- 3 SOLID SURFACE SHOWER PAN (SS-3448 @ 114, SS-4236 @ 115, SBF-3464 @ 177). INSTALL PER MFR. RECOMMENDATIONS' VERIFY PAN DIMENSIONS AND OPENING LOCATION @ EACH PRIOR TO ORDERING.
- 4 VCT-1 TO BE INSTALLED ON ENTIRE FLOOR W/VINYL BASE @ ALL WALLS



3 NEW ELEVATIONS - "ROOM 178"
A1.4 SCALE: 1/4" = 1'-0" *ALTERNATE #2

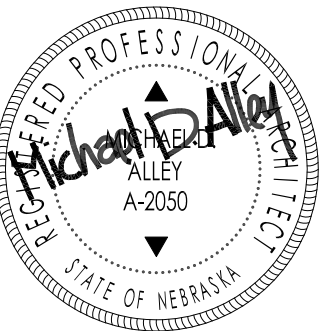
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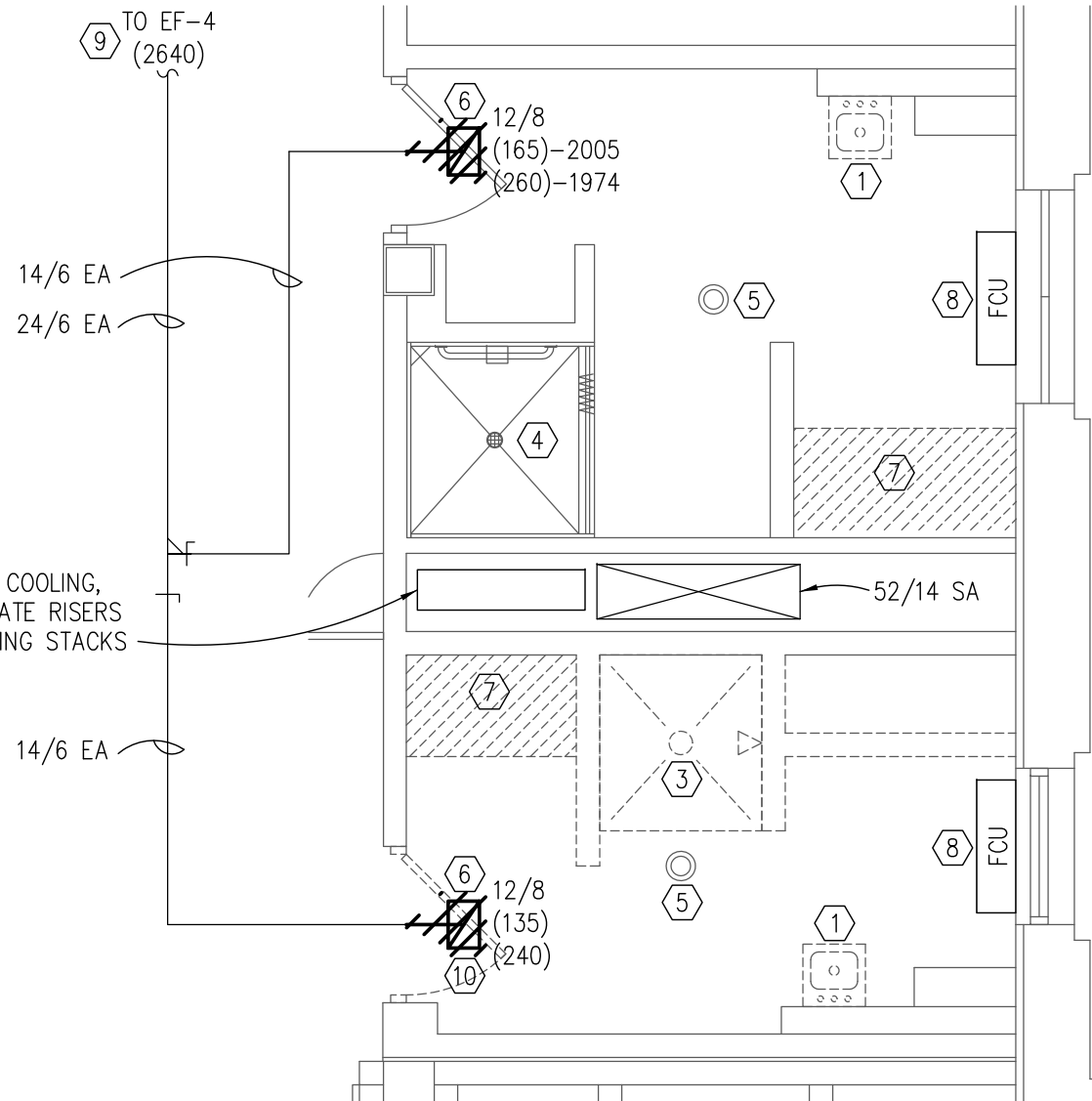
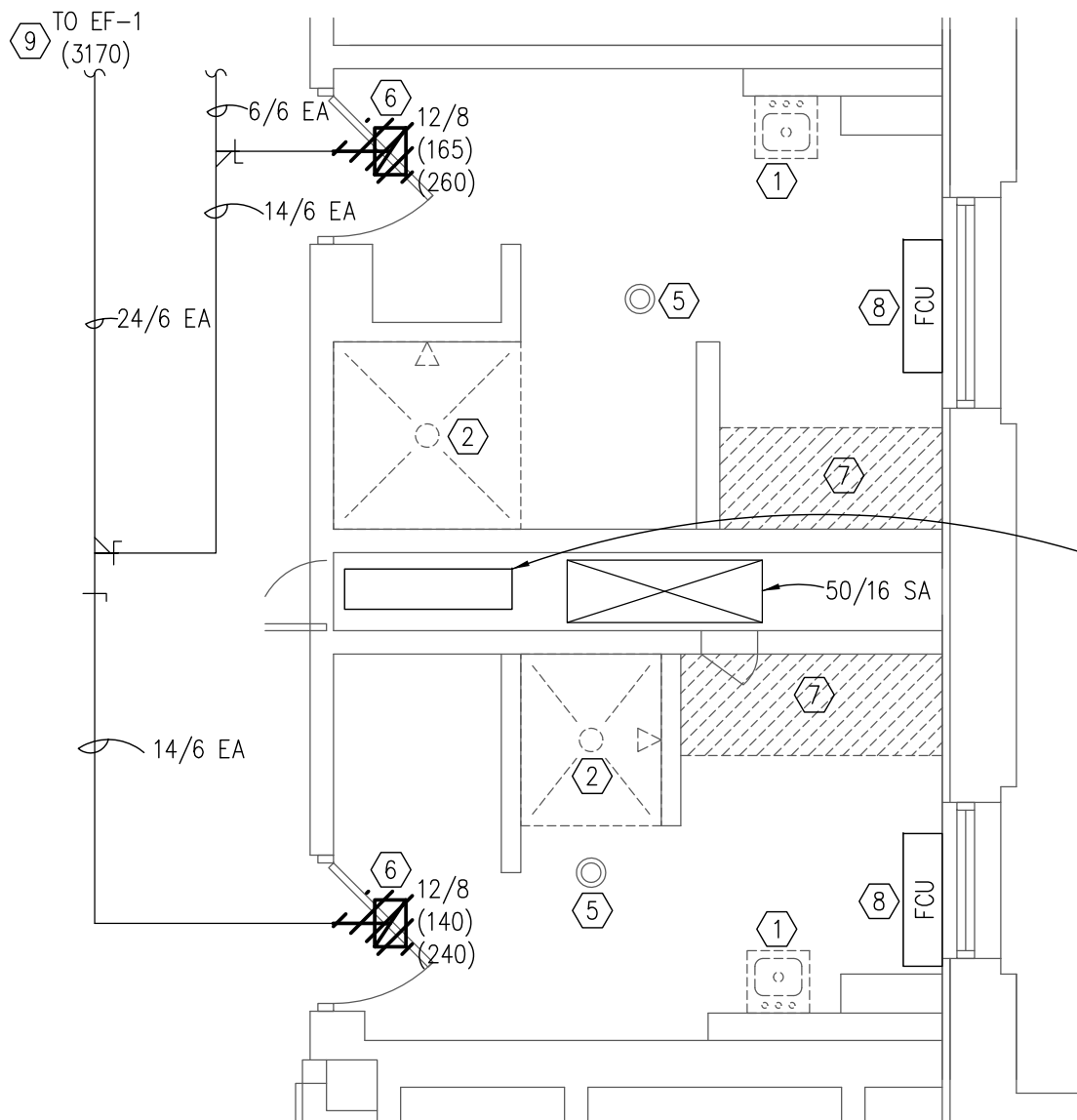
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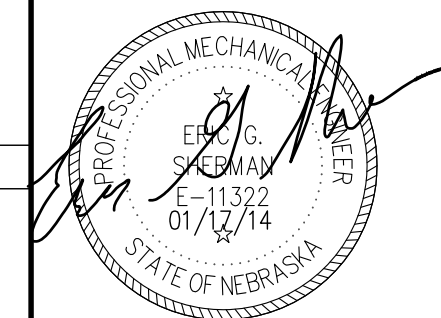
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M0.1

1

MECH. DEMO FLOOR PLAN - "ROOMS 114 & 115"

M0.1

SCALE: 1/4" = 1'-0"

2

MECH. DEMO FLOOR PLAN - "ROOMS 177 & 178"

M0.1

SCALE: 1/4" = 1'-0"

ALTERNATE #1: ROOM 177

ALTERNATE #2: ROOM 178

SHEET NOTES

- 1 REMOVE LAV. MODIFY PLUMBING FOR NEW LAV PER NEW PLAN.
- 2 REMOVE SHOWER VALVE AND HEAD ASSEMBLY. MODIFY PLUMBING FOR NEW SHOWER PER NEW PLAN. REMOVE DRAIN. MODIFY WASTE FOR NEW SHOWER PAN PER NEW PLAN. SEE ARCH PLANS. SHOWER BASE AND DRAIN BY ARCH.
- 3 REMOVE SHOWER VALVE, HEAD, WATER SUPPLIES, AND DRAIN ASSEMBLY COMPLETE. SEE NEW PLAN FOR NEW ROLL-IN SHOWER AND NEW PLUMBING REQUIREMENTS. SEE ARCH PLANS. SHOWER BASE AND DRAIN BY ARCH.
- 4 SHOWER PANEL (VALVE, HEAD) TO REMAIN. CLEAN SHOWER DRAIN. SECURE STRAINER WITH TAMPER RESIST SCREWS.
- 5 CLEAN FLOOR DRAIN. ADJUST STRAINER ELEVATION TO CONFORM TO NEW FLOORING. SECURE STRAINER WITH TAMPER RESIST SCREWS.
- 6 REMOVE EXHAUST GRILLE AND DUCT TO WALL. TEST AIR FLOW BEFORE DEMO AND REPORT CFM TO ENGINEER. TWO AIR FLOW CFM ARE LISTED, EACH BASED ON DIFFERENT EXISTING PLANS. THE LOWER CFM PER 2006 PLANS, THE HIGHER CFM PER 1974 PLANS. THE EXHAUST FANS WERE INSTALLED PER THE 2006 PLANS.
- 7 REMOVE ANY ABANDONED PLUMBING AT EXISTING BENCH.

- 8 CLEAN FAN COIL UNITS: COIL, DRAIN PAN, FILTER. PROTECT ENCLOSURE DURING RENOVATION. ADJUST FOR SPEED CONTROL AND TEMPERATURE CONTROL TO WORK SMOOTHLY.
- 9 CFM OF EXISTING ROOF EXHAUST FANS PER EXISTING AS-BUILT PLANS. TEST CFM AND REPORT TO ENGINEER.
- 10 NO EVIDENCE OF EXHAUST IN THIS ROOM. FIELD VERIFY IF ORIGINAL EXHAUST DUCT IS CAPPED ABOVE CEILING.

GENERAL NOTES:

- A. EXISTING WORK SHOWN WAS OBTAINED USING EXISTING DOCUMENTS AND FIELD OBSERVATION. NOT ALL EQUIPMENT AND DISTRIBUTION SYSTEMS MAY BE SHOWN. CONTRACTOR TO VERIFY ALL SYSTEMS PRIOR TO COMMENCING WORK. IF DEVIATION BETWEEN EXISTING CONDITIONS AND NEW WORK IS FOUND, CONTRACTOR TO NOTIFY ENGINEER.
- B. ALL EXISTING EQUIPMENT BEING REMOVED WILL BE HANDED OVER TO OWNER FOR FIRST RIGHT OF SALVAGE. IF OWNER REFUSES SALVAGE ITEMS, MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL.
- C. ITEMS SHOW IN HALF TONE ARE EXISTING TO REMAIN, AND HATCHED ITEMS ARE EXISTING TO BE DEMOLISHED.

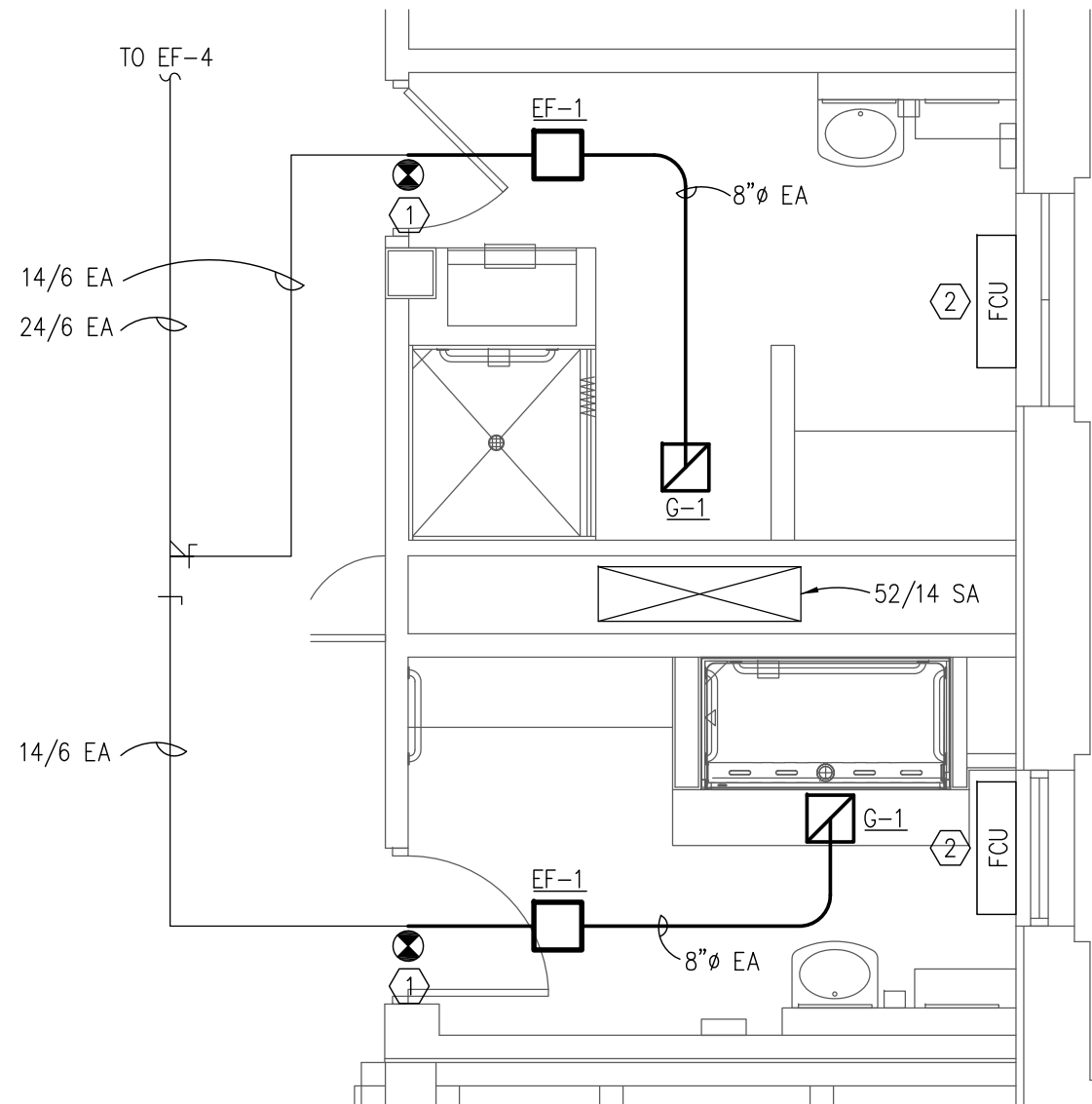
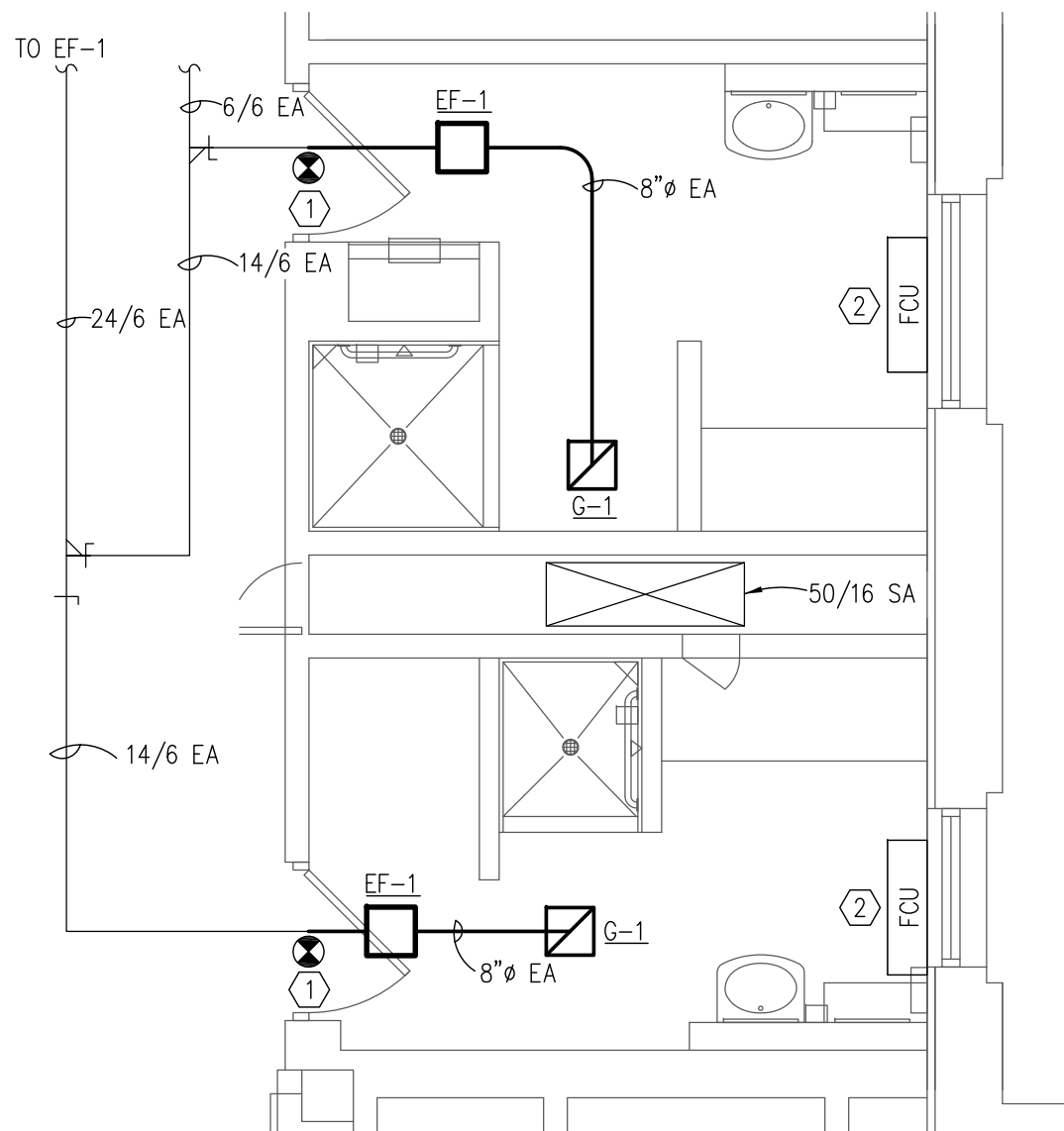
- D. CONTRACTOR SHALL PERFORM SYSTEM SHUT DOWNS AND TIE-INS EFFECTING OTHER AREAS OF THE BUILDING AS OFF HOURS WORK.
- E. COORDINATE SHUT DOWN OF ALL UTILITIES FOR DEMOLITION WORK WITH THE OWNER.
- F. IF PIPE OR EQUIPMENT INSULATION TO REMAIN IS DAMAGED IN APPEARANCE OR IS UNSERVICEABLE, REMOVE DAMAGED OR UNSERVICEABLE PORTIONS AND REPLACE WITH NEW PRODUCTS OF EQUAL CAPACITY AND QUALITY.
- G. CONTRACTOR IS REQUIRED TO VISIT SITE AND FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING PROJECT.

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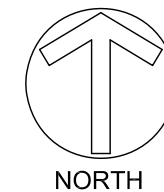
1	HVAC NEW FLOOR PLAN - "ROOMS 114 & 115"	2	HVAC NEW FLOOR PLAN - "ROOMS 177 & 178"
M1.1	SCALE: 1/4" = 1'-0"	M1.1	SCALE: 1/4" = 1'-0" ALTERNATE #1: ROOM 177 ALTERNATE #2: ROOM 178

SHEET NOTES

- 1 CONNECT EF-1 OUTLET TO EXISTING DUCT.
- 2 SECURE FAN COIL ENCLOSURES WITH TAMPER RESISTANT SCREWS.

GENERAL NOTES

- A. COORDINATE WORK REQUIRED TO INSTALL EXHAUST FAN ABOVE CEILING WITH GENERAL CONTRACTOR.
- B. EXHAUST DUCT MAY BE FLEXIBLE FROM GRILLE TO FAN.
- C. COORDINATE EXHAUST FAN LOCATION WITH EXISTING AND NEW LIGHTING.
- D. PROVIDE ACCESS PANEL TO SERVICE EXHAUST FAN. SECURE WITH TAMPER RESIST SCREWS.
- E. G-1 TO BE KEES SEG-9SP3 ROUND HOLE PERFORATED FACE, 3/16" HOLE MAXIMUM, ANTI-LIGATURE WITH TAMPER-RESIST SCREWS.



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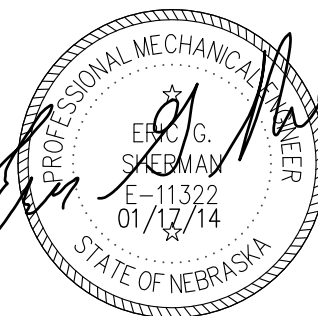
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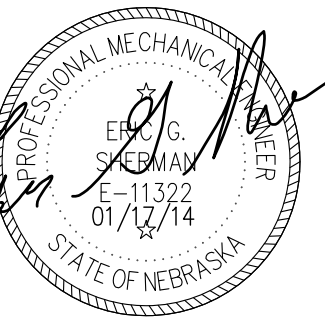
M1.1

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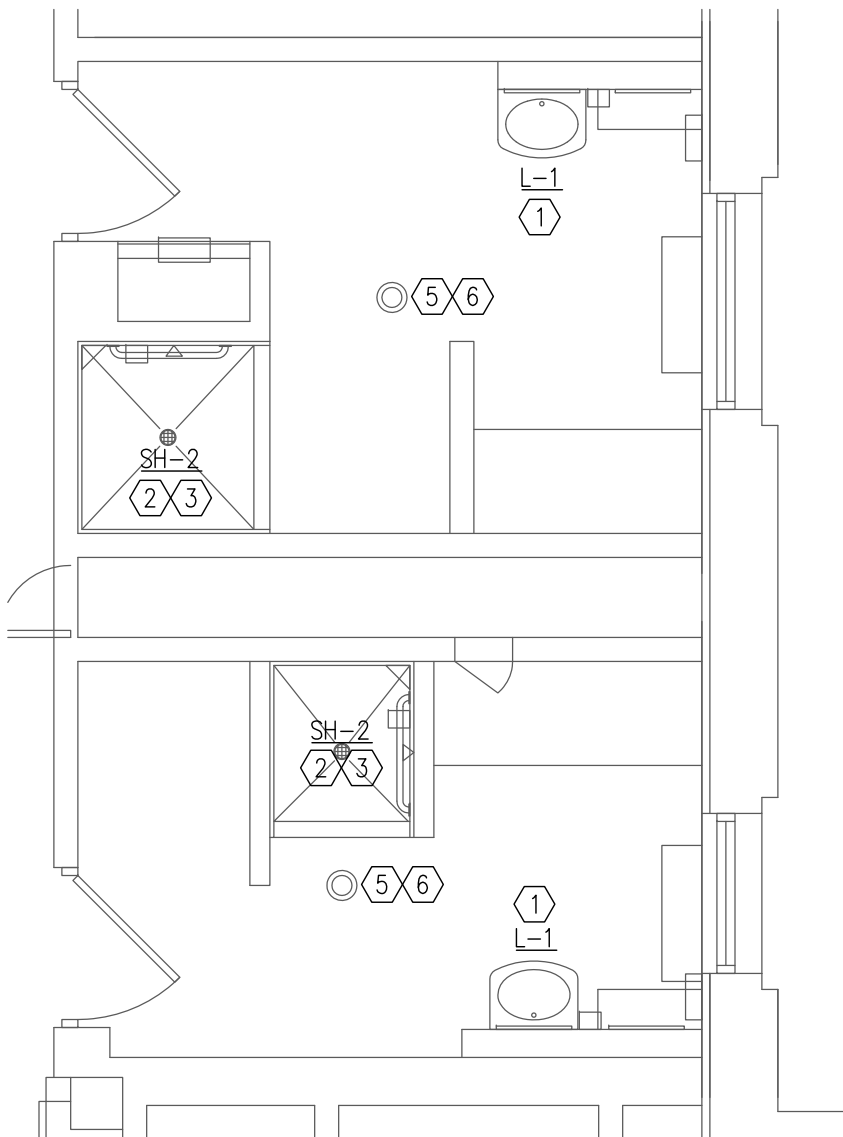
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M2.1

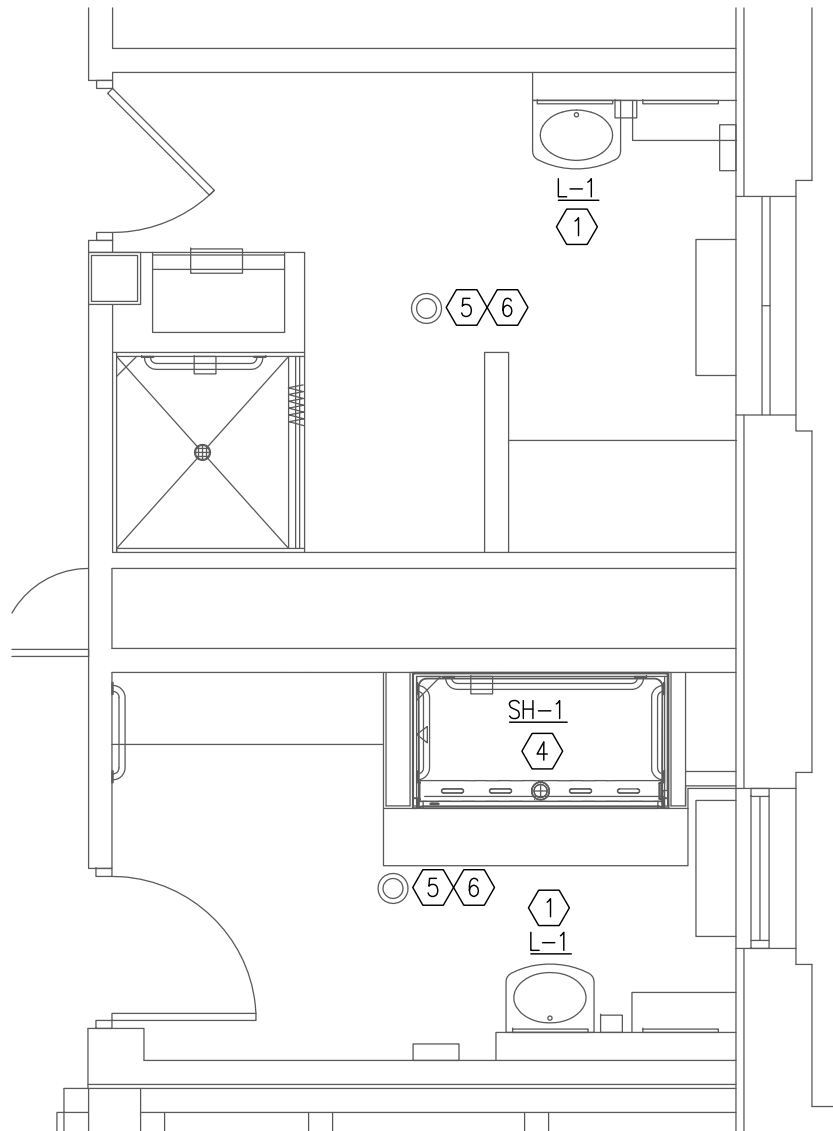


1

PLUMBING NEW FLOOR PLAN - "ROOMS 114 & 115"

M2.1

SCALE: 1/4" = 1'-0"



2

PLUMBING NEW FLOOR PLAN - "ROOMS 177 & 178"

M2.1

SCALE: 1/4" = 1'-0"

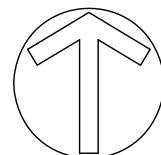
ALTERNATE #1: ROOM 177

ALTERNATE #2: ROOM 178

SHEET NOTES

1. CONNECT NEW LAV TO EXISTING PIPING. PROVIDE NEW STOPS, RISERS, TAILPIECE, AND TRAP ASSEMBLY. MODIFY IN-WALL PLUMBING AS REQUIRED TO CONCEAL PIPING WITHIN TRAP COVER FURNISHED WITH LAV. SECURE TRAP COVER WITH TAMPER RESIST SCREWS. SEE PLUMBING FIXTURE SCHEDULE.
2. CONNECT NEW SHOWER VALVE AND HEAD ASSEMBLY TO EXISTING PIPING. MODIFY IN-WALL PIPING AS REQUIRED TO MEET ELEVATION FOR NEW VALVE AND HEAD. SEE PLUMBING FIXTURE SCHEDULE.
3. CONNECT NEW SHOWER DRAIN TO EXISTING WASTE LINE. NEW SHOWER BASE AND DRAIN BY ARCHITECTURAL SPECIFICATION. COORDINATE LOCATION OF DRAIN WITH EXISTING DRAIN LOCATION. MODIFY WASTE LINE BELOW FLOOR TO MEET REQUIREMENTS OF NEW DRAIN LOCATION.

4. MODIFY WATER AND WASTE LOCATIONS FOR EXISTING SHOWER TO MEET ROUGH-IN REQUIREMENTS FOR NEW SHOWER. FIELD VERIFY WATER RISERS IF FED FROM FLOOR BELOW OR FROM CEILING SPACE OF ROOM AND ADJUST TO SUIT. CONNECT NEW SHOWER DRAIN TO EXISTING WASTE LINE BELOW FLOOR. CONFIGURE PIPING TO MEET PLUMBING CODE FOR VENT LOCATION. EXTEND AND CONNECT TO EXISTING VENT. PROVIDE ACCESS TO DRAIN TRAP IN FLOOR BELOW.
5. CLEAN EXISTING FLOOR DRAIN AND TRAP. ADJUST STRAINER ELEVATION TO CONFORM TO NEW FLOORING. SEE ARCHITECTURAL PLANS FOR FLOORING MATERIAL.
6. RE-POSITION SPRINKLER HEADS AS NECESSARY TO COORDINATE WITH RENOVATION PLAN AND CEILING DEVICES INCLUDING LIGHTS AND HVAC DEVICES.



NORTH

GENERAL NOTES

- A. COORDINATE PLUMBING WORK WITH GENERAL CONTRACTOR. ADVISE WORK REQUIRED OF OTHER TRADES TO ALLOW ACCESS AND ROUGH-IN FOR NEW PLUMBING. INCLUDING WORK BELOW OR OUTSIDE THE DESIGNATED RENOVATION LIMITS INDICATED ON THE FLOOR PLANS.
- B. FURNISH AND INSTALL SHUT-OFF VALVES FOR WATER SUPPLY AT ALL PLUMBING FIXTURES.
- C. SECURE FLOOR DRAIN STRAINERS AND SHOWER PAN DRAINS WITH TAMPER RESISTANT SCREWS.

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PLUMBING FIXTURE SCHEDULE						
MARK	TYPE	DESCRIPTION	PIPING CONNECTIONS			
			COLD WATER	HOT WATER	WASTE	VENT
L-1	WALL	BRADLEY HSL-1 ANTI-LIGATURE SINGLE STATION LAVATORY WITH IR SPRAY HEAD WITH INFRARED CONTROL, TMA MIXING VALVE, TC-AL STAINLESS STEEL TRAP COVER, P-TRAP, DRAIN AND SUPPLY FITTINGS, CARRIER BY PLUMBING CONTRACTOR.	1/2"	1/2"	1-1/4"	1-1/4"
SH-1	2 HEAD ADA	BRADLEY S59-1005 HD PRESSURE BALANCING VALVE WITH VANDAL RESISTANT ADA LEVER HANDLE, BRADLEY DV DIVERTER VALVE, TWO (2) BRADLEY S24-210 LIGATURE RESISTANT SHOWER HEADS (ONE AT 72", ONE AT 48" ABOVE SHOWER FLOOR). MOUNT DIVERTER VALVE AND SHOWER VALVE 42" ABOVE SHOWER FLOOR.	1/2"	1/2"	2"(1)	1-1/2"
SH-2	1 HEAD	BRADLEY S59-1005 HDSR LIGATURE RESISTANT PRESSURE BALANCING VALVE, BRADLEY S24-210 LIGATURE RESISTANT SHOWER HEAD. MOUNT VALVE 48" ABOVE SHOWER FLOOR, MOUNT SHOWER HEAD 72" ABOVE SHOWER FLOOR.	1/2"	1/2"	2"(1)	1-1/2"

NOTE:

(1) COORDINATE WASTE LINE SIZE AND CONNECTION TO FLOOR DRAIN FURNISHED WITH SHOWER FLOOR WITH SHOWER FLOOR SUBMITTAL (FURNISHED BY GENERAL CONTRACTOR). SECURE FLOOR DRAIN WITH SECURITY SCREWS.

FAN SCHEDULE											
MARK	TYPE	MAX. WEIGHT [LBS.]	AIR FLOW [CFM]	TOTAL S.P. [IN.W.C.]	MAX. FAN RPM	MAX. FAN WATTS	ELECTRICAL DATA		MANUFACTURER	MODEL	REMARKS
							AMPS	VOLTS/PHASE			
EF-1	IN-LINE	23	274	.375	1145	212	2.6	120/1	ACME	VQL300	—

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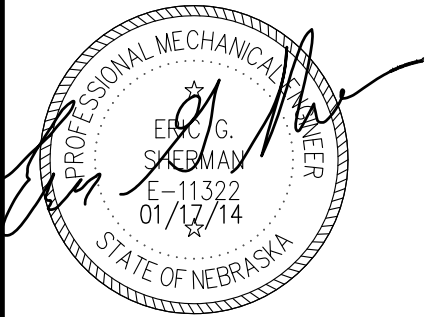
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SECTION 15000 – GENERAL MECHANICAL REQUIREMENTS

1.1 CODES

- A. THE WORK SHALL BE PERFORMED BY PERSONS SKILLED IN THE TRADE INVOLVED AND SHALL BE DONE IN A MANNER CONSISTENT WITH NORMAL INDUSTRY STANDARDS. ALL WORK SHALL CONFORM TO ALL APPLICABLE SECTIONS OF CURRENTLY ADOPTED EDITIONS OF ALL APPLICABLE CODES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCAL CODES IN THE JURISDICTION WITH WHICH THE WORK IS PERFORMED AND INSTALLING THE WORK AS LISTED BY SAID CODES.

1.2 PROJECT COORDINATION

- A. PROVIDE SHOP DRAWINGS FOR MECHANICAL HVAC AND PLUMBING EQUIPMENT.

SECTION 15050 – BASIC MECHANICAL MATERIALS AND METHODS

1.1 PIPING SYSTEMS – COMMON REQUIREMENTS

- A. INSTALL PIPING TO PERMIT VALVE SERVICING.
- B. INSTALL PIPING TO ALLOW APPLICATION OF INSULATION.

SECTION 15060 – HANGERS AND SUPPORTS

1.1 HANGER AND SUPPORT APPLICATIONS

- A. COMPLY WITH MSS SP–69 FOR PIPE HANGER SELECTIONS AND APPLICATIONS THAT ARE NOT SPECIFIED IN PIPING SYSTEM SECTIONS.
- B. INSULATED PIPING: COMPLY WITH THE FOLLOWING:
 - 1. INSTALL MSS SP–58, TYPE 40, PROTECTIVE SHIELDS ON COLD PIPING. SHIELDS SHALL SPAN AN ARC OF 180 DEGREES.

SECTION 15083 – PLUMBING INSULATION

1.1 QUALITY ASSURANCE

- A. FIRE–TEST–RESPONSE CHARACTERISTICS: INSULATION AND RELATED MATERIALS SHALL HAVE FIRE–TEST–RESPONSE CHARACTERISTICS INDICATED, AS DETERMINED BY TESTING IDENTICAL PRODUCTS PER ASTM E 84, BY A TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. FACTORY LABEL INSULATION AND JACKET MATERIALS AND ADHESIVE, MASTIC, TAPES, AND CEMENT MATERIAL CONTAINERS, WITH APPROPRIATE MARKINGS OF APPLICABLE TESTING AND INSPECTING AGENCY.
 - 1. FLAME–SPREAD INDEX OF 25 OR LESS, AND SMOKE–DEVELOPED INDEX OF 50 OR LESS.

1.2 PIPING INSULATION SCHEDULE

FIBERGLASS INSULATION THICKNESS FOR NOMINAL PIPE SIZES:

SYSTEM	TEMP RANGE	1	1–1/4	2–1/2
		AND LESS	TO 2	TO 4
		IN	IN	IN
COLD WATER	ANY	1.0	1.0	1.5
HOT WATER	ANY	1.0	1.0	1.5

SECTION 15410 – PLUMBING PIPING

- 1.1. WORK IS TO BE ACCEPTABLE UNDER UNIFORM PLUMBING CODE OR ACCEPTED AS SUITABLE FOR PROPOSED USE UNDER AUTHORITY HAVING JURISDICTION. WHERE EXISTING UTILITIES ARE SHOWN TO BE ABANDONED, REMOVED, OR CONNECTED TO, PERFORM WORK AS REQUIRED BY LOCAL CODES AND CODE AUTHORITIES.
- 1.2. HOT AND COLD POTABLE WATER PIPING. DRAWN COPPER TUBING, TYPE L, FITTINGS FOR COPPER TUBING SHALL BE WROUGHT COPPER OR CAST BRONZE. EXPOSED PIPING IN FINISHED ROOMS USED IN CONNECTION WITH PLUMBING FIXTURES SHALL BE CHROMIUM–PLATED BRASS PIPE WITH PLATED CAST BRASS FITTINGS.
- 1.3. SANITARY DRAINAGE AND VENT PIPING: HUBLESS CAST IRON WITH HEAVY DUTY FITTINGS. VENT PIPING MAY BE GALVANIZED WHEN PERMITTED BY CODE.
- 1.4. CONCEAL PIPING IN FINISHED ROOMS UNLESS SHOWN OR SPECIFIED OTHERWISE. INSTALL HORIZONTAL SANITARY DRAINAGE AND VENT PIPING OF 3 INCH DIAMETER AND LESS WITH FALL OF NOT LESS THAN 1/4 INCH PER FOOT. INSTALL PIPING LARGER THAN 3 INCH WITH FALL OF NOT LESS THAN 1/8 INCH PER FOOT.
- 1.5. TRAPS SHALL BE INSTALLED ON FIXTURES AND INLETS TO DRAINAGE SYSTEM EXCEPT WHERE TRAPS ARE INTEGRAL WITH EQUIPMENT OR FIXTURES. NO FIXTURE SHALL BE DOUBLED–TRAPPED. EXPOSED OR ACCESSIBLE P–TRAPS SHALL HAVE BOTTOM CLEAN–OUT PLUGS.
- 1.6. POTABLE WATER PIPING. CONTRACTOR SHALL RUN TEST TO PROVE PROPER CAPACITY AND PERFORMANCE OF APPARATUS, ETC., AND SYSTEM AS A WHOLE.
- 1.7. SANITARY DRAINAGE PIPING. MAKE PRESSURE TESTS. TEST WASTE DRAINAGE PIPING BY CLOSING OPENINGS BEFORE FIXTURES ARE SET AND FILLING ENTIRE SYSTEM WITH WATER, OR BY AIR PRESSURE.

SECTION 15440 – PLUMBING FIXTURES

SEE SCHEDULE.

SECTION 15890 – DUCTWORK

- 1. DUCTWORK CONSTRUCTION SHALL BE SUITABLE FOR THE USE INTENDED AND CONFORM TO NFPA STANDARD 90–A, AND TO THE FIRST EDITION OF THE “HVAC DUCT CONSTRUCTION STANDARDS, METAL AND FLEXIBLE” PUBLISHED BY THE SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC. (SMACNA).
- 2. CONTRACTOR MAY VARY RUN AND SHAPE OF DUCTS AND MAKE OFFSETS DURING PROGRESS OF WORK, IF REQUIRED, TO MEET STRUCTURAL OR OTHER INTERFERENCES. CONSULT WITH OTHER TRADES, A ND IN CONJUNCTION WITH THEM, ESTABLISH NECESSARY SPACE REQUIREMENTS FOR EACH TRADE TO MAINTAIN REQUIRED CLEARANCES.

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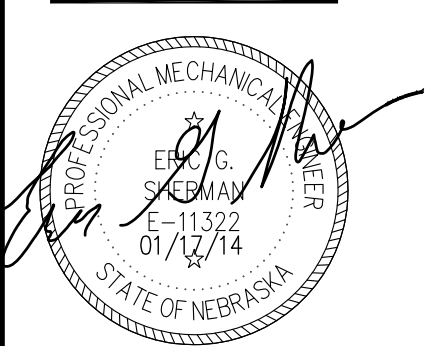
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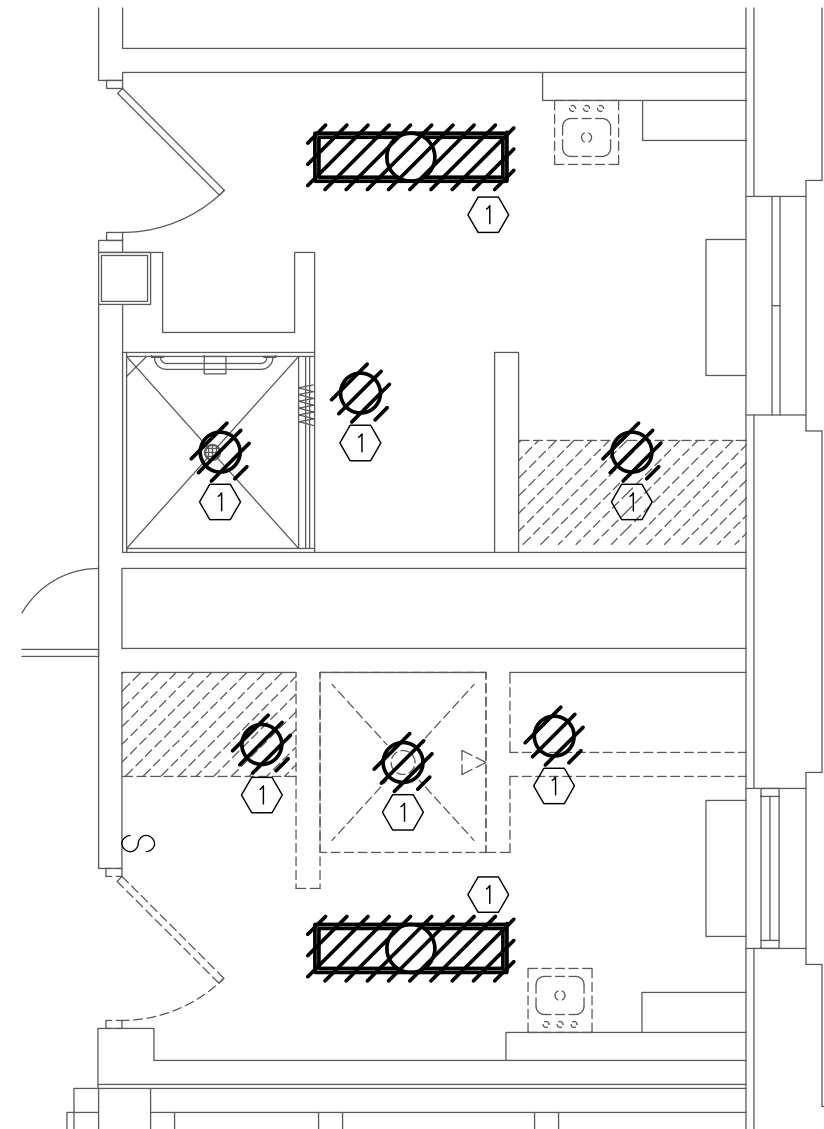
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M4.1



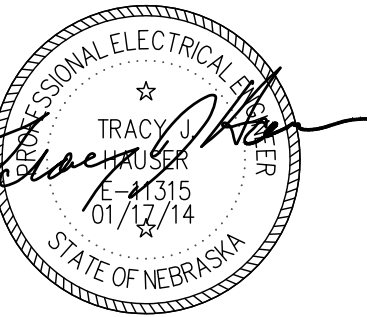
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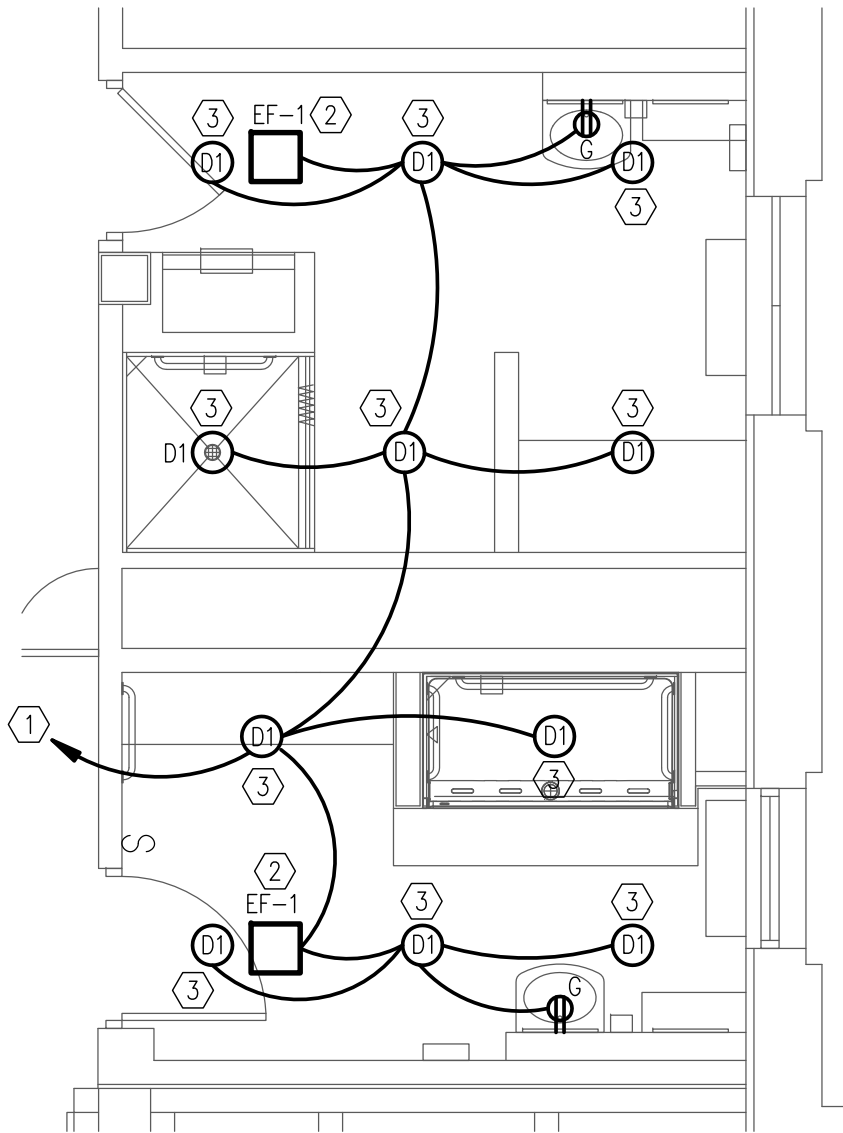
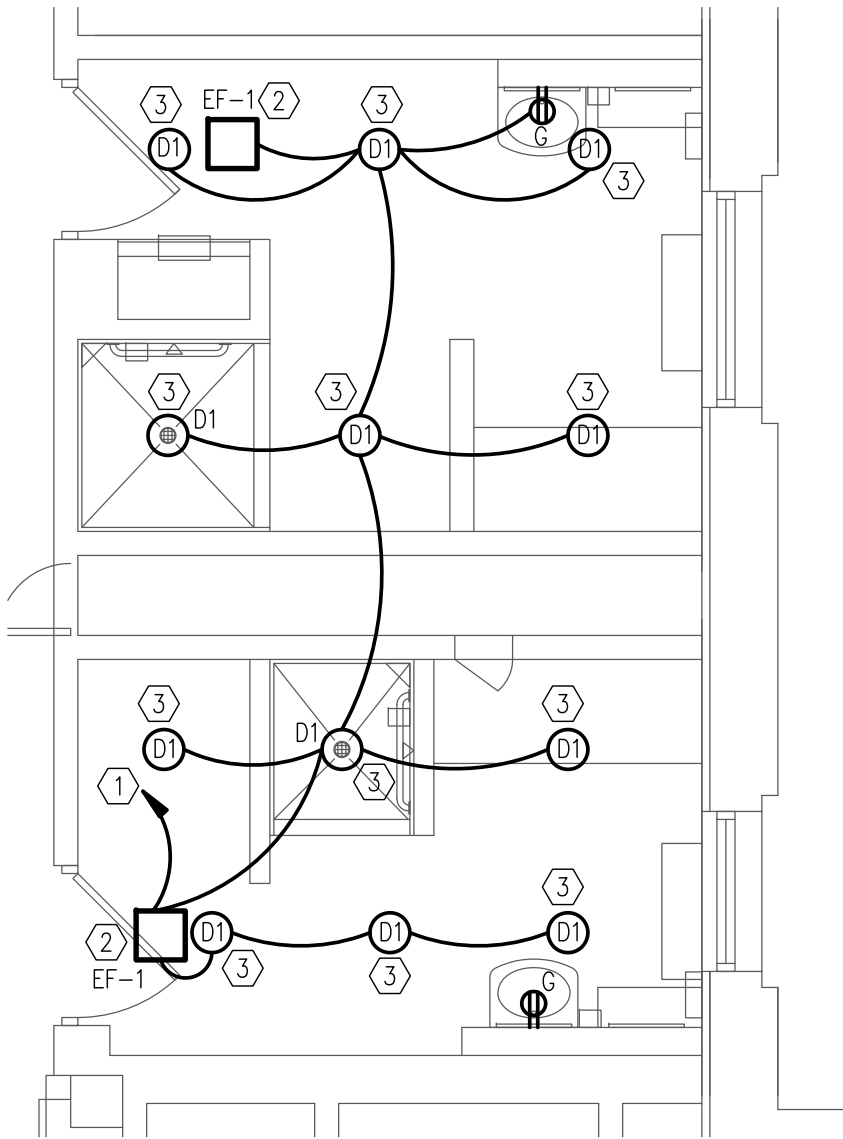
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E1.1



1

POWER NEW FLOOR PLAN - "ROOMS 114 & 115"

E1.1

SCALE: 1/4" = 1'-0"

2

LIGHTING & POWER NEW FLOOR PLAN - "ROOMS 177 & 178"

E1.1

SCALE: 1/4" = 1'-0"

ALTERNATE #1: ROOM 177

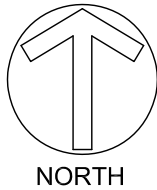
ALTERNATE #2: ROOM 178

SHEET NOTES

- ① CONNECT TO NEAREST 120 V PANEL AND A SPARE OR NEW 20/1P BREAKER.
- ② PROVIDE DISCONNECT PER MANUFACTURER'S RECOMMENDATIONS. FAN WILL RUN 24/7.
- ③ PROVIDE GOTHAM LIGHTING "EVO 30/22 8 DFR 120" DOWN LIGHT. CONNECT TO EXISTING SWITCH.

GENERAL NOTES

- A. ELECTRICAL DEVICE MOUNTING HEIGHTS ARE NOT INDICATED ON ELECTRICAL FLOOR PLANS. CONTRACTOR SHALL COORDINATE EXACT DEVICE LOCATIONS AND MOUNTING HEIGHTS WITH ARCHITECTURAL INTERIOR ELEVATIONS. WHERE DEVICE MOUNTING HEIGHTS ARE NOT INDICATED PER ARCHITECT, MOUNT DEVICES AT HEIGHT INDICATED IN ELECTRICAL PROJECT SPECIFICATIONS.
- B. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DEVICE ROUGH-IN LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS TO ASSURE COMPATIBILITY WITH FINISHES SPECIFIED ON THE ARCHITECTURAL DRAWINGS. ROUTE ALL ELECTRICAL BRANCH CIRCUITS AND CONDUITS SPECIFIED, TO COORDINATE WITH OTHER TRADES AND TO ALLOW FOR SERVICE AND MAINTENANCE AND TO MINIMIZE THE USE OF ACCESS PANELS. WHERE ACCESS PANELS CANNOT BE AVOIDED, ARRANGE WORK TO INSTALL PANELS IN LOCATIONS ACCEPTABLE TO ARCHITECT.
- C. BRANCH CIRCUIT WITH A TOTAL LENGTH LONGER THAN 100'-0" SHALL UTILIZE #10 AWG CONDUCTORS.



INSTALL GREEN INSULATED
GROUND WIRE WITH
LIGHTING, RECEPTACLE AND
EQUIPMENT BRANCH CIRCUITS.

INSTALL INDIVIDUAL (DEDICATED)
NEUTRAL CONDUCTORS FOR
EACH 120V OR 277V PHASE
CONDUCTOR SERVED FROM A
SINGLE POLE CIRCUIT BREAKER

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